

## Chapter 5. BUILDING TYPES AND STANDARDS

### 5.1 Purpose and Intent

The standards in this Chapter are intended to attach the same or greater level of importance to building design as is placed on the use contained within. The established architectural vernacular of the City of Salisbury exhibits a wide-variety of common building types and this Ordinance has established regulations specific to these typologies. The rich architectural history and vocabulary of the City presents a wide variety of development options for using traditional forms while avoiding any perception of monotony. Buildings are expected to be added to the City of Salisbury as long-term additions to the architectural vibrancy of the community.

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In addition, this chapter is guided by and intends to fulfill the following policy directives of the *Salisbury Vision 2020 Comprehensive Plan*:

- *New infill development shall be architecturally compatible with existing structures, landscape features, and the streetscape within its vicinity.*
- *Appropriately located, designed and scaled stores and services providing basic necessities to residents of the City's older neighborhoods shall be encouraged. Neighborhood serving businesses shall be designed at a residential scale and character.*
- *New development in or adjoining an older commercial area should be compatible with existing desirable development within its vicinity. Compatibility criteria shall include size, scale, massing, fenestration, rhythm, setback, materials, context, and landscaping.*
- *Noteworthy buildings, important outdoor spaces, objects of historic merit, important monuments, and significant works of art shall be placed in positions of visibility and prominence.*

### 5.2 Applicability

The following provisions apply throughout the jurisdiction of this Ordinance. While the General Provisions (Sec. 5.4) apply to all principle buildings, each building type shall also comply with its own general, dimensional, and design element provisions according to building type and zoning district.

### 5.3 Exceptions

- A. Innovative planning or design ideas for development in any district where the proposed building types and dimensional standards are different than those allowed by the base district requirements may be approved subject to the approval of a Conditional District.
- B. Buildings in LI and HI districts are exempt from the provisions of this chapter, except for those requirements in Section 5.4.D, Encroachments, and except for those applicable district dimensional standards.

- C. Minor additions or modifications to any principle building existing upon the effective date of this Ordinance are exempt from the provisions of this chapter, except for those requirements in Section 5.4.D, Encroachments, and except for those applicable district dimensional standards. Minor addition shall mean any addition to the principle building that is less than 25% of the gross floor area. Minor modification shall mean any work requiring a Zoning Permit that is valued less than 25% of the Rowan County assessed valuation.
- D. Except where specific provisions in this chapter apply, accessory and temporary buildings shall follow the General Lot, Infill & Structure (Ch. 4) provisions of this Ordinance.
- E. Where specific architectural elements are required as part of an adopted plan or associated with local historic guidelines, those requirements shall supersede the building design requirements of this chapter.

#### 5.4 General Provisions for All Building Types

Unless otherwise noted, all buildings shall comply with the following provisions:

##### A. Building Placement/Orientation

1. **Fronting a Street or Public Space:** All buildings, except for buildings in the LI, HI and IC districts, shall front a street or recreational open space and shall include a principal building entrance and architectural front. With the provision of alley access, buildings may front recreational open space with public street access and shall be of sufficient design to allow for the provision of emergency services. In the case of campus-style development as defined below, building orientation may vary from fronting upon the street or open space only when developed as a Conditional District.
2. **Building Entrances:** All buildings facing any public space shall have a primary entrance façade designed for the pedestrian and be distinguishable from the rest of the building. Such entrances shall provide a sense of entry and add variety to the streetscape. Additional entrances may be oriented toward side or rear parking lots. Service entrances for shipping and receiving shall be oriented away from the public street.
3. **Termination of Vistas:** Important street vistas identified in any adopted plan should terminate in a focal point, such as a building or other architectural or natural feature.
4. **Campus-Style Development** is typically characterized by the clustering of uses within inwardly-oriented buildings that address one another, a public



*A building and its primary entrance façade shall be oriented toward the street. (5.4.A)*



*Important street vistas should terminate in a focal point. (5.4.A)*

common space, or parking area, and where there is generally greater open space and buffering from surrounding lesser intensive uses. This type of development typically includes:

- a) A unified system of sidewalks, paths, streets, and drives;
- b) A unified design of common themes represented in building design, material, signage, and lighting; and
- c) A master utility plan.

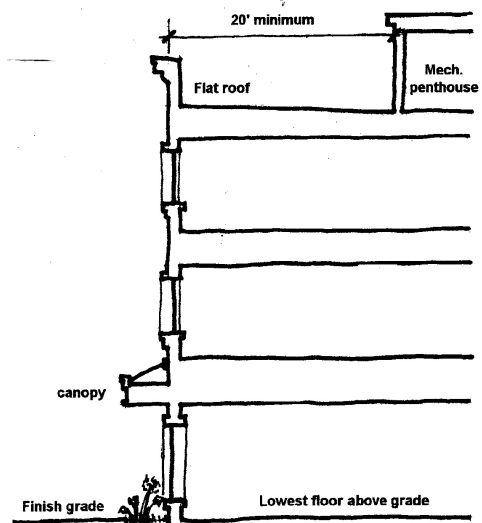
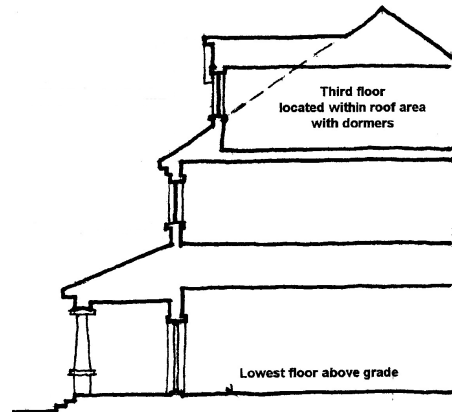
**B. Construction Methods:**

- 1. **Underground wiring:** To reduce the visual impact of overhead wiring, utility services shall be located underground.
- 2. **Type of Construction:** Manufactured, mobile, and metal units shall be prohibited, except as may be allowed in Section 4.4 for a temporary office or classroom, site management, or storage uses during construction projects; and except as permitted in the RR zoning district or Manufactured Home Development (MHD) in a Conditional District.

**C. Building Height**

Building heights are specified in each building type sections. They shall be determined according to the provisions below.

- 1. **Story:** That part of a building above ground level between a floor and the floor or roof next above shall be considered a story. A mezzanine shall be considered a story if it exceeds one-third of the area of the floor immediately below. A penthouse shall be considered a story if it exceeds one-third of the area under the roof. The under-roof area with dormers does not count as a story.
- 2. **Items Not Included in Calculation:**  
The height limitations of this Ordinance shall not apply to church spires, belfries, cupolas, and domes not intended for human occupancy, monuments, water towers, mechanical



penthouses, (provided they are set back 20 feet from the front elevation) observation towers, transmission and telecom towers, chimneys, smokestacks, conveyors, flagpoles, masts and antennas; provided evidence from appropriate authorities is submitted to the effect that such building or building will not interfere with any airport zones or flight patterns. As noted above, the portion of a residential building that is located within a roof area (including dormers) shall not be counted towards the maximum story requirement.

**D. Encroachments**

Certain architectural features are permitted to encroach into the setback. The encroachment standards are as follows:

1. **Arcades:** Arcades, if provided, shall avoid the swing of car doors parked parallel to the arcade. In addition the sidewalk within the arcade shall be sufficient to accommodate the intended uses (i.e. outdoor seating) while also providing the required clearances according to the American with Disabilities Act Accessibilities Guidelines (ADAAG).
2. **Awnings:** All awnings, if provided, shall be supported by a frame attached directly to the building receiving beneficial use of the awning. Awnings shall not be supported by a frame attached to the sidewalk or other public right-of-way.
3. **Bay Windows and Overhanging Eaves:** Bay windows and overhanging eaves shall not exceed a maximum projection of two (2) feet from the primary wall. In addition, bay windows shall not contain habitable floor space, but may provide seating as an integral element.
4. **Balconies, Porches, and Stoops:** Roofed or non-roofed balconies, porches, and stoops are permitted as encroachments. To the extent possible, these features are to remain visually permeable so that the front door can be easily seen from the street or sidewalk.
5. **Handicapped Ramps:** A handicap ramp may encroach into any required setback.
6. **Rear Yard Encroachments:** Open decks, porches, patios, and other similar structures not exceeding an average finished height above grade of 30 inches may encroach into the side and rear setback to within five feet of the property line. Enclosure of these areas with walls or screening is considered a room and shall not be permitted as an encroachment.
7. **Encroachments over the Public Right of Way:** With approval of the City or NCDOT (whichever has authority over a street), upper story balconies or bay windows may encroach into the right of way, but shall be a minimum of 3 feet behind the curb.
8. **Public Art:** Public art, such as statues, fountains, and other works of art are encouraged and may be placed in any required setback area.

## 5.5 Residential Building Types

The general residential buildings types are as follows: *House*, *Townhouse*, and *Apartment*, including manufactured housing. Adjacent buildings should relate in similarity of scale, roof pitch, height, architectural elements, and/or lot configuration.

### A. General Provisions – All Residential Building Types

#### 1. Permitted Building Types By District

	OSP	RR	GR	UR	URP	RMX	NMX	CMX	DMX	HB	LI	HI	HS	IC	TND
HOUSE	•	•	• (1)	•(1)	•	•	•	•	–	–	–	–	•	•	•
TOWNHOUSE	–	–	•(1)	•(1)	–	•	•	•	–	–	–	–	•	•	•
APARTMENT	–	–	–	–	–	•	•	•	•	•	–	–	•	•	•
MIXED-USE	–	–	–	–	–	•	•	•	•	–	–	–	–	–	•

• = building type allowed

(1) No more than 4 units/building per Use Matrix (Ch. 2)

#### 2. Materials

- a) **Building Walls:** Building walls (including accessory structures greater than 120 sq ft) shall be primarily clad in wood clapboard, cementitious fiber board, wood shingle, wood drop siding, wood board and batten, brick, stone, stucco, vinyl, or synthetic materials similar and/or superior in appearance and durability. EIFS may be used above 8 feet from the base of residential buildings except for House building types. When two or more materials are used on a façade, the visually heavier material (i.e. masonry) should be placed below the lighter material (i.e. siding) to give the sense of support and grounding.
- b) **Roofs:** Roofs shall be clad in wood shingles, asphalt shingles, standing seam metal, terne, slate, or synthetic materials similar and/or superior in appearance and durability.

#### 3. Construction Methods

- d) **Roof Pitch:** Main roofs on residential building types shall be symmetrical gables or hips with a pitch between 6:12 and 12:12 or flat roofs (< 3:12) with a parapet wall. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less than 4:12.
- e) **Crawlspace:** The crawlspace shall be enclosed.

- f) **Overhanging Eaves:** Overhanging eaves may expose rafters and shall project a minimum of six (6) inches from the building face or with a gutter.

**4. Provisions for Manufactured Housing**

In addition to the Design Element Provisions (Sec. 5.6.B.5), a manufactured home must bear a seal certifying that it was built to the standards adopted on July 1, 1976 that meets or exceeds the construction standards promulgated by the US. Department of Housing and Urban Development that were in effect at the time of construction and that satisfies each of the following additional criteria:

- a) A continuous, permanent brick or architectural CMU foundation or curtain wall, un-pierced except for required ventilation and access, shall be installed upon a poured concrete footer after placement on the lot, and before occupancy.
- b) Stairs, porches, entrance platforms and other means of entrance and exit to the manufactured home shall be installed and constructed in accordance with the standards set by the NC Department of Insurance. The entrance platform shall be a minimum of 24 square feet.
- c) The roof of the manufactured home shall have an eave extending at least ten (10) inches from each vertical exterior wall. A site installed gutter may be counted in the width of the eave.
- d) The front facade of the building shall extend parallel to the frontage line.
- e) The manufactured home is set up on the site in accordance with the standards set by the NC Department of Insurance.
- f) The tongue, axles, transporting lights, and removable towing apparatus are removed after placement on the lot and before occupancy.



**B. Building Type: HOUSE**

A House is a detached building located on one (1) parcel or lot that is flexible in use, accommodating single-family residences, multi-family residences up to four units, home occupations, professional offices, and limited retail uses based on the zoning district in which it is located. The two basic House building types – Street-Access House and Alley-Access House – are a function of how the lot is accessed by automobile.



*Alley-Access House*



*Street-Access House*



*Quadruplex*



*Professional Offices*

**1. Applicability of House Design Requirements Based on Lot Dimension**

		(5.5.B.5) Dimension Standards	(5.5.A) (5.5.B.2) General Provisions	Front Porches	Street or Alley Access	(5.5.B.3) Attached or Detached Garage	(5.5.B.4) Design Element Provisions
LOT DIMENSION	30 – 39 ft wide	Required	Required	Required	Alley <sup>(1)</sup>	Detached Only	Required
	40 – 54 ft wide	Required	Required	Not Required	Alley <sup>(1)</sup>	Attached or Detached	Required
	55 – 69 ft wide	Required	Required	Not Required	Alley or Street <sup>(1)</sup>	Attached or Detached	Required
	70+ ft wide <i>and</i> setback 40 ft or greater	Required	Not Required <sup>(2)</sup>	Not Required	Alley or Street <sup>(1)</sup>	Attached or Detached	Not Required

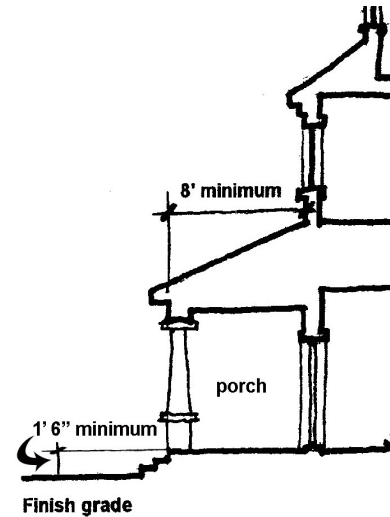
Notes: 1. Exception for infill parcels. See Section 4.3.E  
2. Provisions for Manufactured Housing shall still apply to these lots

**2. General Provisions for House Type**

- a) **Front Porch:** Front porches, if used, shall be at least 8 feet deep and extend more than 40% of the façade.

b) **Raised Entrance**

- i. A house 20 feet from the sidewalk or closer shall have the primary entrance and lowest floor above grade raised above the sidewalk grade a minimum of 1½ feet. This provision shall not prevent the construction of a basement or lower floor when the lot slopes down and away from sidewalk grade.
- ii. A house between 20 and 40 feet from the sidewalk shall be raised a minimum of 1 foot.



**3. Garage and Off-Street Parking Provisions**

a) **Alley-Access House**

- i. An alley-access garage shall not be attached to the principal house on lots less than 40 feet wide.
- ii. The construction of a detached garage is not permitted unless a principal house is located on the lot. The detached garage and principal house may be constructed concurrently.
- iii. A detached garage shall be located only in the rear yard and shall not cover more than 40% of the rear yard.

b) **Street-Access House**

- i. No garage door shall be any closer than 25 feet from the street right-of-way.
- ii. A front-loading attached garage shall be recessed a minimum of 5 feet behind the front facade of the house and designed to form a secondary building volume.
- iii. A garage with more than two bays shall not face the street.



- iv. The maximum width of an attached garage bay door shall be 18 feet or no more than 40% of the front façade, whichever is less.

#### **4. Design Element Provisions for House Type**

In all new developments of two or more lots, a house type, when applicable, shall provide detailed design along all primary elevations and elevations facing a public street or open space. Detailed design shall be provided by using at least five (5) of the following architectural features on all elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):

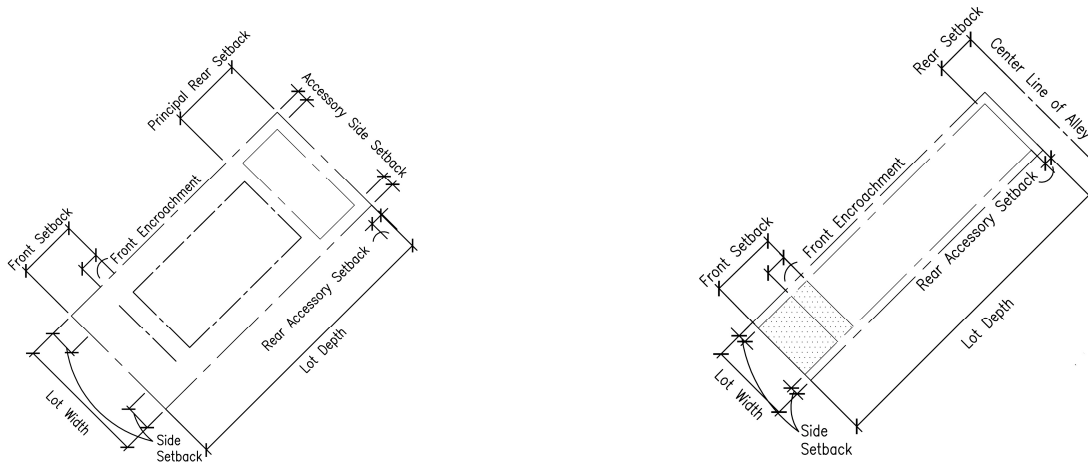
- a) Dormers
- b) Gables
- c) Brick or Stone veneer (all-around)
- d) Covered porch or stoop entries
- e) Cupolas or towers
- f) Pillars, posts, or columns
- g) Eaves (minimum 10 inch projection which may include gutter)
- h) Off-sets in building face or roof (minimum 16 inches)
- i) Window trim (minimum 4 inches wide)
- j) Bay windows
- k) Balconies
- l) Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features)

5. Dimensional Standards by Zoning District for House Type

	OSP (a)	RR (a)	GR	UR, UR-P, RMX, NMX(d), CMX, HS
<b>Lot Width (Minimum)</b>	100 ft	100 ft	55 ft	30 ft
<b>Lot Depth (Minimum)</b>	100 ft	100 ft	100 ft	100 ft
<b>Lot Area (Minimum)</b>	20 acres	5 acres	5,500 sqft	3,000 sqft
<b>Front Setback (Minimum)(b)</b>	30 ft	40 ft	10 ft	10 ft
<b>Front Yard Encroachment</b>		8 ft	8 ft	8 ft
<b>Side Setback (Minimum)</b>	10 ft	10 ft	20% of lot width (c)	20% of lot width (c)
<b>Rear Setback (Minimum)</b>	20 ft	30 ft	25 ft	25 ft
<b>Rear Setback from Alley (Minimum)</b>			15 ft from centerline	15 ft from centerline
<b>Accessory Structure Side/Rear Setback (Minimum)</b>	5 ft	5 ft	5 ft (10 ft for more than 200 sf)	5 ft
<b>Maximum Height (Sec. 5.4.C)</b>	50 ft	50 ft	50 ft	35 ft

Notes:

- (a) See Chapter 2 for additional provisions regarding single-family dwellings in the OSP and RR districts.
- (b) For corner lots, the building shall utilize the front setback for both streets
- (c) In new developments only (vs. infill lots), the entire setback may be allocated to one side with a minimum of 6 feet total building separation, providing the setback condition is consistent with the block.
- (d) Maximum Building Footprint for NMX shall be 2,000 square feet.



C. Building Type: TOWNHOUSE

A Townhouse is one of a row of attached houses, or live-work units, joined by common sidewalls and where each house/unit is located on an individual parcel or lot. When an entrance is provided at-grade, the townhouse may be used as a live-work unit. The use permitted within the building is determined by the district in which it is located. The Townhouse typically has 1 yard (rear) though variations include a small front setback to provide some landscaping.



*Townhomes with Alley*



*Live-Work Townhomes*

1. Applicability of Townhouse Design Requirements Based on Lot Dimension

LOT DIMENSION		(5.5.C.5) Dimension Standards	(5.5.A) (5.5.C.2) General Provisions	Front Porches	Street or Alley Access	(5.5.C.3) Attached or Detached Garage	(5.5.C.4) Design Element Provisions
	20 – 39 ft wide	Required	Required	Not Required	Alley <sup>(1)</sup>	Detached Only	Required
	40+ ft wide	Required	Required	Not Required	Alley or Street <sup>(1)</sup>	Attached or Detached	Required

Notes: 1. Exception for infill parcels. See Section 4.3.E

2. General Provisions for Townhouse Type

- a) **Bulk and Scale:** The bulk and scale of townhouse development shall be similar to and consistent with the surrounding neighborhood as evaluated by the bulk of buildings adjacent, abutting and development.
- b) **Front Porches:** Front porches, if used, shall be at least 8 feet deep and extend more than 30% of the façade.
- c) **Raised Entrances:** A townhouse shall have the primary entrance and lowest floor above grade raised above the sidewalk grade a minimum of 1½ feet when constructed in the RMX, NMX, CMX, and TND districts. This provision shall not prevent the construction of a basement or lower floor when the lot slopes down and away from sidewalk grade. Live-work units may be

constructed with the primary entrance at grade in any permitted district.

**3. Garage and Off-Street Parking Provisions for a Street-Access Townhouse**

- a) No garage door shall be any closer than 25 feet from the street right-of-way.
- b) A front-loading attached garage shall be recessed a minimum of 5 feet behind the front facade of the townhouse and designed to form a secondary building volume.
- c) A garage with more than two bays shall not face the street.
- d) The maximum width of an attached garage bay door shall be 18 feet or no more than 40% of the front façade, whichever is less.

**4. Design Element Provisions for Townhouse Type**

- a) **Doors, Porches, Balconies, & Windows:** All elevations visible from the street shall provide doors, porches, balconies, and/or windows. A minimum of 40% of front elevations at ground level and a minimum of 30% of side and rear building elevations, as applicable, shall meet this standard. “Percent of elevation” is measured as the horizontal plane (lineal feet) containing doors, porches, balconies, terraces and/or windows. This standard applies to each full and partial building story.
- b) **Detailed Design Features:** All townhouse buildings shall provide detailed design along all primary elevations and elevations facing a public street or open space. Detailed design shall be provided by using at least six (6) of the following architectural features on all elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):
  - i. Dormers
  - ii. Gables
  - iii. Brick or Stone veneer (all-around)
  - iv. Covered porch or stoop entries
  - v. Cupolas or towers
  - vi. Pillars, posts, or columns
  - vii. Eaves (minimum 10 inch projection which may include gutter)

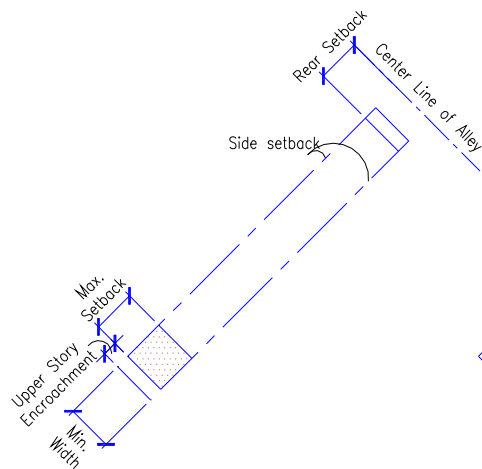
- viii. Off-sets in building face or roof (minimum 16 inches)
- ix. Window trim (minimum 4 inches wide)
- x. Bay windows
- xi. Balconies
- xii. Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features)
- xiii. Decorative cornices and roof lines (for flat roofs)

5. Dimensional Standards by Zoning District for Townhouse Type

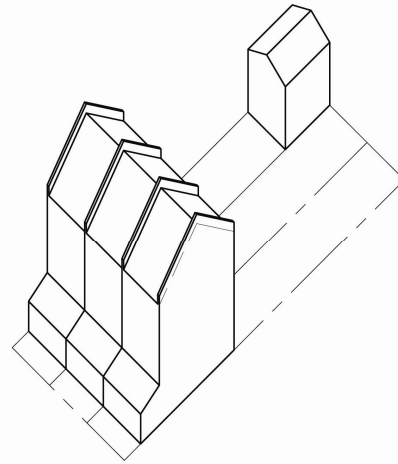
	GR	UR	RMX, NMX (c), CMX, HS
Lot Width (Minimum)	40 ft	20 ft	20 ft
Front Setback (Minimum)	0 ft (10 ft) (a)	0 ft (10 ft) (a)	0 ft (10 ft) (a)
Front Setback (Maximum)	-	-	25 ft
Front Yard Encroachment (b)	5 ft	5 ft	5 ft
Side Setback (Minimum)	10 ft between buildings	10 ft between buildings	10 ft between buildings
Rear Setback (Minimum)	-	-	-
Rear Setback from Alley (Minimum)	15 ft from centerline	15 ft from centerline	15 ft from centerline
Accessory Structure Side/Rear Setback (Minimum)	5 ft	5 ft	5 ft
Maximum Height	3 stories	3 stories	3 stories
Minimum Height	-	-	2 stories or 20 ft

Notes:

- (a) Along thoroughfares, the minimum front setback shall be 10 feet.
- (b) Upper story balconies may encroach into the right-of-way (over the sidewalk only) with permission from the City. (Sec. 5.4.D.7)
- (c) Maximum Building Footprint for NMX shall be 2,000 square feet.



Townhouse lot



Townhouse buildings with alley parking

**D. Building Type: APARTMENT**

A multiple-unit building containing more than four (4) dwelling units vertically arranged (generally). The ground floor may be available for commercial uses. The uses permitted within the building are determined by the district in which the building is located. The Apartment building typically has 1 yard (Rear) though variations include a small front setback to provide some landscaping.



*Multi-family Apartment Building*



*Multi-Family Apartment Building*



*Eight-plex Apartment Building*

**1. General Provisions for Apartment Type**

- a) **Bulk and Scale:** The bulk and scale of apartment infill development shall be similar to and consistent with the surrounding neighborhood as evaluated by the bulk of buildings adjacent, abutting and surrounding the proposed development. All buildings should be designed to adhere to the existing architectural pattern of the surrounding neighborhood.
- b) **Porches and Stoops:** Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the building. If provided, front porches shall be at least 8 feet deep.
- c) **Garage Doors:** Garage doors are not permitted on the front elevation of any apartment building.
- d) **Rooftop Equipment:** All rooftop equipment shall be screened from view.



**2. Design Element Provisions for Apartment Type**

- a) Building Elevations:** All elevations visible from the street shall provide doors, porches, balconies, and/or windows. A minimum of 60% of front elevations, and a minimum of 30% of side and rear building elevations, as applicable, shall meet this standard. “Percent of elevation” is measured as the horizontal plane (lineal feet) containing doors, porches, balconies, terraces and/or windows. This standard applies to each full and partial building story.
- b) Design Details:** All apartment buildings shall provide detailed design along all primary elevations and elevations facing a public street or open space. Detailed design shall be provided by using at least five (5) of the following architectural features on all elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):

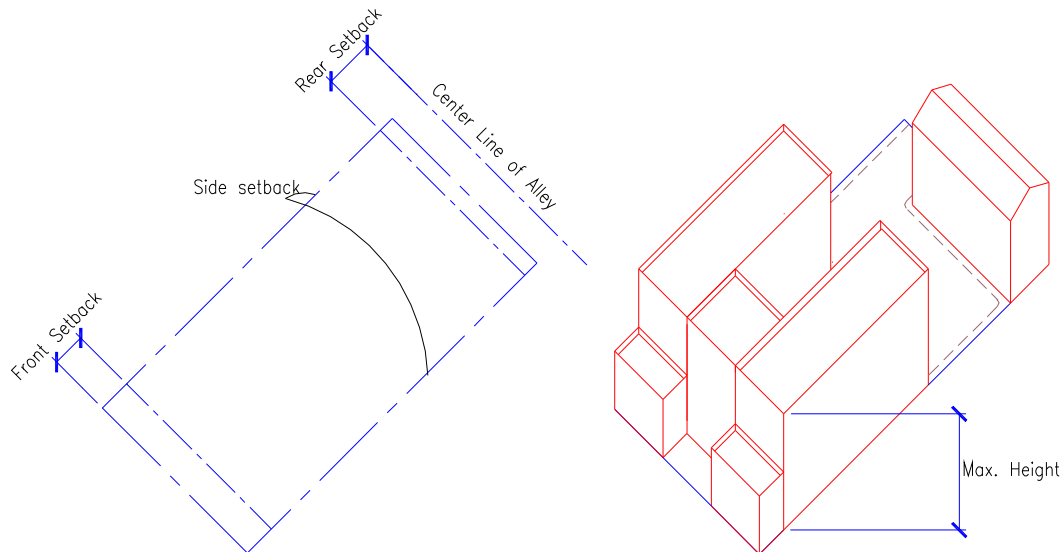
  - i. Dormers
  - ii. Gables
  - iii. Brick or Stone veneer (all-around)
  - iv. Covered porch or stoop entries
  - v. Cupolas or towers
  - vi. Pillars, posts, or columns
  - vii. Eaves (minimum 10 inch projection which may include gutter)
  - viii. Off-sets in building face or roof (minimum 16 inches)
  - ix. Window trim (minimum 4 inches wide)
  - x. Bay windows
  - xi. Balconies
  - xii. Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features)
  - xiii. Decorative cornices and roof lines (for flat roofs)

3. Dimensional Standards by Zoning District for Apartment Type

	RMX, NMX(d), CMX, HS	DMX	HB
Lot Width (Minimum)	-	30 ft	32 ft
Front Setback (Minimum)	0 ft (10 ft) (a)	0 ft	10 ft
Front Setback (Maximum)	-	25 ft	-
Front Yard Encroachment (b)	8 ft	8 ft	-
Side Setback (Minimum)	10 ft between buildings	0 ft or 6 ft between buildings (c)	0 ft or 4 ft
Rear Setback (Minimum)	-	-	0 ft or 4 ft
Rear Setback from an Alley at least 10 ft wide (Minimum)	15 ft from centerline	15 ft from centerline	0 ft
Accessory Structure Side/Rear Setback (Minimum)	5 ft	0 ft	0 ft or 4 ft
Maximum Height	RMX: 3 stories NMX, CMX: 4 stories HS: 5 stories	None	3 stories
Minimum Height	2 stories or 20 ft	2 stories or 20 ft	-

Notes:

- (a) Along thoroughfares, the minimum front setback shall be 10 feet.
- (b) Upper story balconies may encroach into the right-of-way (over the sidewalk only) with permission from the City. (Sec. 5.4.D.7)
- (c) No side setback requirement from an alley that is at least 10 feet wide
- (d) Maximum Building Footprint for NMX shall be 2,000 square feet.



## 5.6 Mixed-Use & Commercial Building Types

The mixed-use and commercial building types may vary; however, adjacent buildings should relate in similarity of scale, roof pitch, height, architectural elements, and/or lot configuration.

### A. General Provisions – All Mixed-Use & Commercial Building Types

#### 1. Permitted Building Types By District

	OSP	RR	GR	UR	URP	RMX	NMX	CMX	DMX	HB	LI	HI	HS	IC	TND
TOWNHOUSE	–	–	• (1)	• (1)	–	•	•	•	–	–	–	–	•	•	•
APARTMENT	–	–	–	–	–	•	•	•	•	•	–	–	•	•	•
MIXED-USE	–	–	–	–	–	•	•	•	•	–	–	–	–	–	•
COMMERCIAL	–	–	–	–	–	•	•	•	•	•	•	•	•	•	•

• = building type allowed

(1) No more than 4 units/ building per Use Matrix (Ch. 2)

#### 2. Materials

- a) **Building Walls:** Mixed-Use and Commercial building walls shall be brick, stucco, pre-cast concrete, stone, cementitious fiber board, architectural concrete block or wood clapboard. EIFS-type stucco may be used above 8 feet from the base of the building.
- b) **Roof:** Pitched or flat (<3:12) roofs shall be clad in wood shingles, asphalt shingles, standing seam metal, terne, slate, or synthetic materials similar and/or superior in appearance and durability.
- c) **Windows:** Windows shall be clad in wood, aluminum, or fiberglass and contain glass or spandrel glass.

#### 3. Street Walls – For RMX, NMX, CMX, DMX, & TND only

The following provisions shall apply to the first floor of all commercial and mixed-use and buildings in the above applicable districts:

- a) **Windows and Doors:** The first floor of all buildings fronting on a street shall include transparent windows and doors arranged so that the uses inside are visible from and/or accessible to the street on at least 40% of the length of the first floor building elevation along the first floor street frontage.

- b) **Window dimensions:**
  - **Maximum Sill Height (1<sup>st</sup> Floor):** 30 inches (as measured from the finished floor elevation)
  - **Minimum Area:** 16 sq ft
  - **Minimum Width:** 3 feet
  - **Minimum Height:** 4 feet
- c) **Blank Walls:** Expanses of blank walls may not exceed 20 feet in length. (A “blank wall” is a facade that does not contain transparent windows or doors.)
- d) **Ventilation Grates and Exit Doors:** All ventilation grates and doors located at the first floor level oriented to any public street shall be decorative, flush, hollow metal doors with applied moldings, trim, art, or appliques.
- e) **Security Bars and Rolldowns:** Security bars or rolldown doors shall be installed on the interior when facing a public street.
- f) **Building Canopy:** When projecting over a public right-of-way, City Council approval shall be obtained prior to placement.

**B. Building Type: MIXED-USE**

A mixed-use building is generally a multi-story, small-scale structure that can accommodate a variety of uses. A group of mixed-use buildings can be combined to form a mixed-use neighborhood center. Individual mixed-use buildings can be used to provide some commercial service, such as a neighborhood store, in close proximity to homes. The uses permitted within the building are determined by the district in which it is located. The Mixed-Use building typically has 1 yard (Rear) though variations include a small front plaza or courtyard to provide public space for outdoor seating as well as a building with complete lot coverage where parking is handled in a manner other than on-site surface parking.

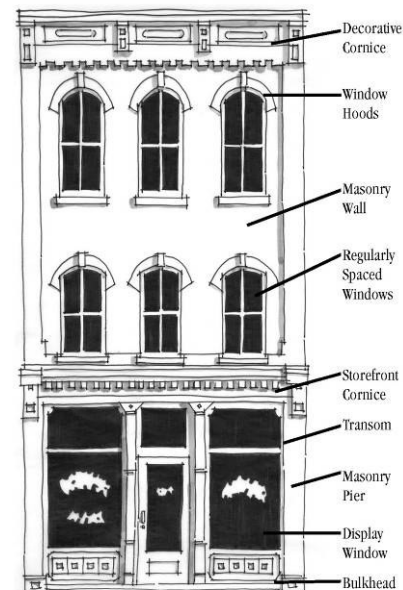
*Office over Retail/Restaurant**Office over Retail/Office**Residential/Office over Retail***1. Design Element Provisions for Mixed-Use Type**

The following design details are required on elevations facing a public street on all mixed-use buildings:

- a) Primary entrance doorway, except that corner buildings shall provide only one primary entrance along a street-facing façade.
- b) Display windows along the ground floor.
- c) Rhythmically-spaced windows and patterns on all upper floors.
- d) Decorative cornice.

Detailed design shall be provided by using at least three (3) of the following architectural features on all other elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):

- a) Window hoods or canopies
- b) Storefront (mid-wall) cornice
- c) Transom
- d) Masonry Piers (rhythmically-spaced)
- e) Ground-level bulkhead
- f) Recessed entries
- g) Bay window or balcony

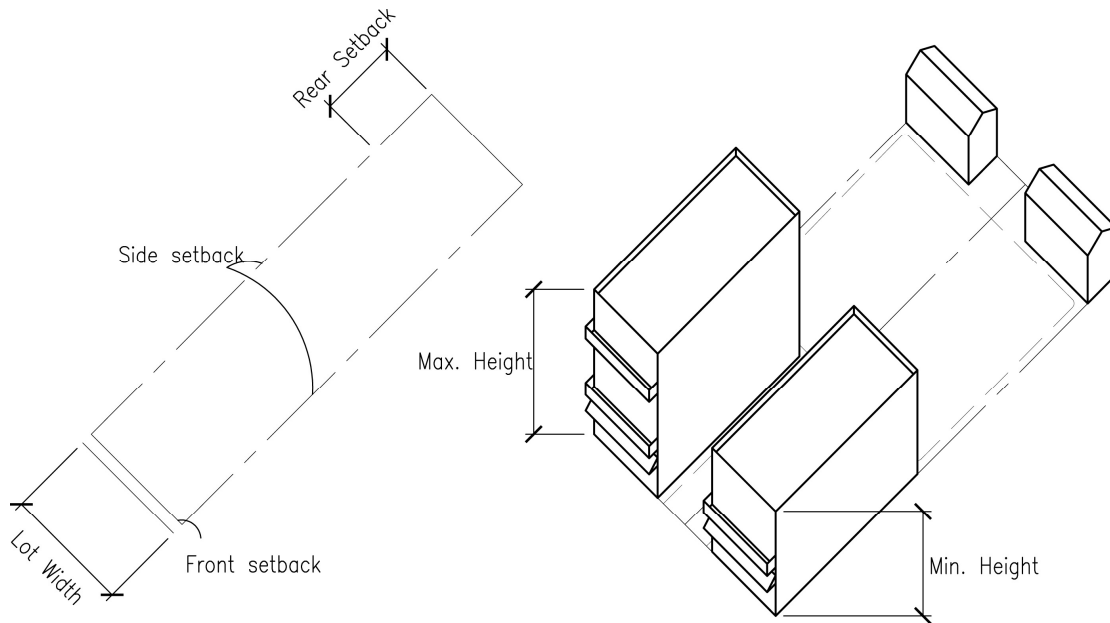


2. Dimensional Standards by Zoning District for Mixed-Use Type

	RMX	NMX(c)	CMX	DMX
<b>Lot Width</b> ( <i>Minimum</i> )	32 ft	-	-	-
<b>Front Setback</b> ( <i>Minimum</i> )	0 ft	0 ft	0 ft (10 ft) (a)	0 ft
<b>Front Setback</b> ( <i>Maximum</i> )	-	10 ft	-	10 ft
<b>Front Yard Encroachment</b> (b)	8 ft	8 ft	8 ft	8 ft
<b>Side Setback</b> ( <i>Minimum</i> )	0 ft within development, otherwise 12 ft	0 ft within development, otherwise 5 ft	0 ft within development, otherwise 5 ft	0 ft or 4 ft
<b>Rear Setback</b> ( <i>Minimum</i> )	10 ft	0 ft	0 ft	0 ft or 4 ft
<b>Rear Setback from Rear Lane/Alley</b> ( <i>Minimum</i> )	5 ft	0 ft	0 ft	0 ft
<b>Accessory Structure Side/Rear Setback</b> ( <i>Minimum</i> )	0 ft	0 ft	0 ft	0 ft
<b>Maximum Height</b>	3 stories	4 stories	4 stories	None
<b>Minimum Height</b>	2 stories	2 stories	2 stories	2 stories

Notes:

- (a) Along thoroughfares, the minimum front setback shall be 10 feet.
- (b) Upper story balconies may encroach into the right-of-way (over the sidewalk only) with permission from the City. (Sec. 5.4.D.7)
- (c) Maximum Building Footprint for NMX shall be 2,000 square feet.



**C. Building Type: COMMERCIAL**

This building type provides convenient pedestrian and vehicular access from the fronting street, while minimizing the negative impacts of parking lots on an active pedestrian realm. The uses permitted within the building are determined by the district in which it is located. The Commercial building typically has 1 yard (Rear) though variations include a small front plaza or courtyard to provide public space for outdoor seating.



*Retail*



*Grocery Store*



*Pharmacy with Drive Thru*

**1. Design Element Provisions for Commercial Type**

The following design details are required on elevations facing a public street on all commercial buildings:

- a) Primary entrance doorway, except that corner buildings shall provide only one primary entrance along a street-facing façade.
- b) Display windows along the ground floor.

Detailed design shall be provided by using at least two (2) of the following architectural features on all other elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):

- a) Window hoods or canopies
- b) Storefront (mid-wall) cornice
- c) Transom
- d) Masonry Piers (rhythmic and patterned)
- e) Ground-level bulkhead
- f) Recessed entries
- g) Bay window or balcony
- h) Decorative cornice

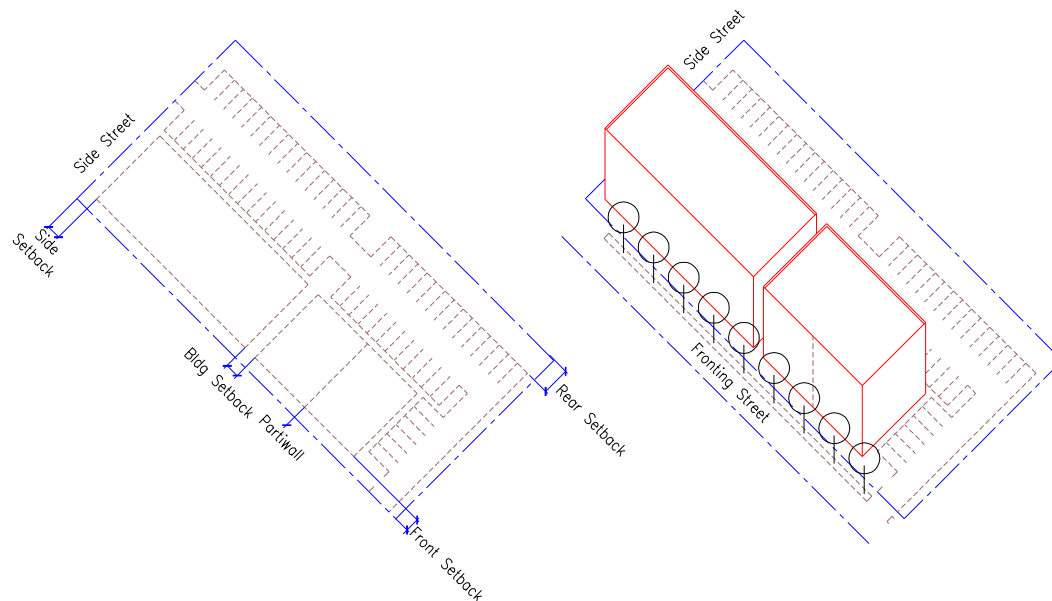


2. Dimensional Standards by Zoning District for Commercial Type

	RMX, NMX(c)	CMX	DMX	HB	HS
Lot Width (Minimum)	32 ft	32 ft	16 ft	32 ft	32 ft
Lot Depth (Minimum)	-	-	-	-	-
Front Setback (Minimum)	0 ft	0 ft (10 ft) (a)	0 ft	10 ft	0 ft
Front Setback (Maximum)	10 ft	75 ft	10 ft	-	-
Front Yard Encroachment (b)	8 ft	8 ft	8 ft	-	-
Side Setback (Minimum)	0 ft within development, otherwise 5 ft	0 ft within development, otherwise 5 ft	0 ft or 4 ft	0 ft or 4 ft	0 ft or 4 ft
Rear Setback (Minimum)	0 ft	0 ft	0 ft or 4 ft	0 ft or 4 ft	0 ft
Rear Setback from Rear Lane/Alley (Minimum)	0 ft	0 ft	0 ft	0 ft	0 ft
Accessory Structure Side/Rear Setback (Minimum)	0 ft	0 ft	0 ft	0 ft or 4 ft	0 ft
Maximum Height	RMX:2 stories NMX:4 stories	4 stories	None	3 stories	5 stories (d)
Minimum Height	-	-	2 stories	-	-

Notes:

- (a) Along thoroughfares, the minimum front setback shall be 10 feet.
- (b) Upper story balconies may encroach into the right-of-way (over the sidewalk only) with permission from the City. (Sec. 5.4.D.7)
- (c) Maximum Building Footprint for NMX shall be 2,000 square feet.
- (d) Hospitals may reach a maximum height of 150 feet subject to the issuance of a Special Use Permit.



## 5.7 Institutional & Public Landmark Building Types

The institutional and public landmark building types may vary; however, adjacent buildings should relate in similarity of scale, roof pitch, height, architectural elements, and/or lot configuration.

### A. Permitted Building Types By District

	OSP	RR	GR	UR	URP	RMX	NMX	CMX	DMX	HB	LI	HI	HS	IC	TND
INSTITUTIONAL	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
PUBLIC LANDMARK	•	•	•	•	•	•	•	•	•	•	—	—	•	•	•

• = building type allowed

### B. Building Type: INSTITUTIONAL

Institutional buildings often serve as landmarks and public gathering places. However, because most institutional uses serve specialized populations (i.e. children, elderly, college students, or the infirmed) they have unique characteristics that require design control. Institutional buildings should be constructed as permanent additions to the long-term vibrancy of the City and should serve to exemplify the very best architectural designs and building practices.



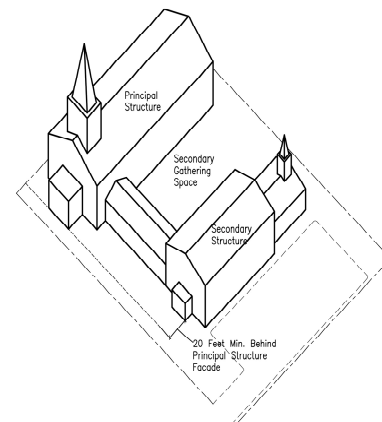
College



Church

#### 1. Applicability

Uses appropriate for the Institutional building type shall include governmental offices, schools, hospitals and long-term care facilities, post offices, churches, synagogues and non-profit or charitable clubs and organizations.



## 2. General Provisions for Institutional Type

- a) Institutional buildings should be of sufficient design to create visual anchors for the community.
- b) **Secondary Buildings:** Building(s) incidental to the principal structure shall be behind line a minimum of 20 ft behind the front facade of the principal structure, and if more than one, shall be arranged to create secondary gathering spaces within the lot.
- c) **Building Walls:** Institutional building walls shall be clad in clapboard, stone, stucco, cementitious fiber board, brick, or marble. Decorative concrete masonry units (CMU), exterior insulation finishing systems (EIFS) and/or vinyl siding may be used as a secondary element, or on facades not facing public streets.
- d) **Roofs:** Flat roofs are allowed, but principal buildings adjacent to residential structures shall have similar architectural features such as pitched roofs to ensure compatibility.

## 3. Dimensional Standards by Zoning District for Institutional Type

	OSP	RR	GR	UR UR-P RMX	NMX(b) CMX	DMX	HB	HS
<b>Lot Width (Minimum)</b>	100 ft	100 ft	100 ft	50 ft	50 ft	50 ft	32 ft	50 ft
<b>Front Setback (Minimum)(a)</b>	30 ft	40 ft	10 ft	10 ft	0 ft	0 ft	10 ft	0 ft
<b>Front Setback (Maximum)</b>	-	-	-	-	-	25 ft	-	-
<b>Front Yard Encroachment</b>	-	8 ft	10 ft	10 ft	10 ft	25 ft	-	-
<b>Side Setback (Minimum)</b>	10 ft	10 ft	15 ft	10 ft between buildings	10 ft between buildings	0 ft or 4 ft	0 ft or 4 ft	5 ft
<b>Rear Setback (Minimum)</b>	20 ft	30 ft	30 ft	30 ft	30 ft	0 ft or 4 ft	0 ft or 4 ft	30 ft
<b>Rear Setback from Alley (Minimum)</b>	-	-	-	-	-	0 ft	0 ft	0 ft
<b>Accessory Structure Side/Rear Setback (Minimum)</b>	5 ft	5 ft	5 ft	5 ft	5 ft	0 ft	0 ft or 4 ft	5 ft
<b>Maximum Height</b>	50 ft	50 ft	3 stories	3 stories	4 stories	None	3 stories	5 stories(c)
<b>Minimum Height</b>	-	-	-	-	-	2 stories or 20 ft	-	-

Notes:

(a) For corner lots, the building shall utilize the front setbacks for both streets

(b) Maximum Building Footprint for NMX shall be 2,000 square feet.

(c) Hospitals may reach a maximum height of 150 feet subject to the issuance of a Special Use Permit.

**C. Building Type: PUBLIC LANDMARK**

The public landmark building is the most important building type in the City. It serves equally as a landmark and a public gathering place. Such buildings should be constructed as permanent additions to the long-term vibrancy of the City and should serve to exemplify the very best architectural designs and building practices.



*Courthouse*



*Transportation Terminal / Depot*

**1. Applicability**

The Public Landmark building type may only be used for public buildings such as city or county halls, libraries, courthouses, and transportation terminals; and semi-public buildings such as civic/convention centers, museums, performing arts centers, and observatories.

**2. General Provisions for Public Landmark Type**

Because of the unique characteristics of the Public Landmark Building, it is generally exempt from the standards imposed on other buildings in this Chapter with the following exceptions:

- a) They should be built so that they terminate a street vista whenever possible.
- b) They should be designed to create visual anchors for the community.
- c) They should be constructed with brick, stone, or precast concrete.

3. Dimensional Standards by Zoning District for Public Landmark Type

	OSP	RR	GR	UR UR-P RMX	NMX(b) CMX	DMX	HB	HS
<b>Lot Width (Minimum)</b>	100 ft	100 ft	100 ft	50 ft	50 ft	50 ft	32 ft	50 ft
<b>Front Setback (Minimum)(a)</b>	30 ft	40 ft	10 ft	10 ft	0 ft	0 ft	10 ft	0 ft
<b>Front Setback (Maximum)</b>	-	-	-	-	-	25 ft	-	-
<b>Front Yard Encroachment</b>	-	8 ft	10 ft	10 ft	10 ft	25 ft	-	-
<b>Side Setback (Minimum)</b>	10 ft	10 ft	15 ft	10 ft between buildings	10 ft between buildings	0 ft or 4 ft	0 ft or 4 ft	5 ft
<b>Rear Setback (Minimum)</b>	20 ft	30 ft	30 ft	30 ft	30 ft	0 ft or 4 ft	0 ft or 4 ft	30 ft
<b>Rear Setback from Alley (Minimum)</b>	-	-	-	-	-	0 ft	0 ft	0 ft
<b>Accessory Structure Side/Rear Setback (Minimum)</b>	5 ft	5 ft	5 ft	5 ft	5 ft	0 ft	0 ft or 4 ft	5 ft
<b>Maximum Height</b>	50 ft	50 ft	3 stories	3 stories	4 stories	None	3 stories	5 stories
<b>Minimum Height</b>	-	-	-	-	-	2 stories or 20 ft	-	-

Notes:

- (a) For corner lots, the building shall utilize the front setbacks for both streets
- (b) Maximum Building Footprint for NMX shall be 2,000 square feet.

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